

# **TOWN OF ASTATULA**

## **Planning & Zoning Commission Meeting**

**Thursday, April 24, 2025 – 6:00 PM**

Astatula Town Hall

25009 County Road 561 | Astatula, FL 34705

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**Join Zoom Meeting:** <https://zoom.us/j/95970350517?pwd=EDjPb8HEwfK8x50hrcjp5FJE4dnGV8.1>

**Meeting ID:** 959 7035 0517 | **Passcode:** 123456

### **Board Members**

Sean Donnelly, Chairman  
Roger Mellen  
Cheryl Marinelli  
Brad Minger  
Bruce Hanawal

### **Town Staff**

Jennifer Tucker, Town Clerk  
Tom Harowski, Interim Planner  
David Langley, Attorney

### **Call to Order**

### **Invocation and Pledge of Allegiance**

### **Roll Call and Confirmation of Meeting Notice**

### **Welcome and Introduction of Guests**

### **Approval of Minutes:**

### **NEW BUSINESS**

1. Discussion and review of Major Site Plan for Mack Concrete

### **ADJOURNMENT:**

### **IMPORTANT DATES:**

- Regular Council Meeting – May 13<sup>th</sup>, 2025 @ 6:30pm
- Planning & Zoning Meeting – May 22<sup>nd</sup>, 2025 @ 6:00pm

**Town of Astatula** is inviting you to a scheduled Zoom meeting.

Topic: **Planning & Zoning Meeting**

Time: **April 24, 2025 06:00 PM** Eastern Time (US and Canada)

Join Zoom Meeting

<https://zoom.us/j/95970350517?pwd=EDjPb8HEwfK8x50hrcjp5FJE4dnGV8.1>

Meeting ID: 959 7035 0517

Passcode: 123456

Dial by your location

- +1 929 205 6099 US (New York)
- +1 346 248 7799 US (Houston)

Find your local number: <https://zoom.us/u/adjHZBeTKP>



## APPLICATION FOR MAJOR SITE / DEVELOPMENT PLAN REVIEW

1. Applicant's Name: Ron Blanton  
Telephone Number: 330-352-6884  
Applicant is: Owner ☐ Developer ☐ Lessee ☐ Agent ☒ Optionee ☐
2. Owner's Name: TAO Astatula, LLC c/o Ron Blanton  
Address: 1321 Industrial Pkwy N, Suite 500, Brunswick, OH 44212  
Telephone Number: 800-482-6225
3. Contractor's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
License Number: \_\_\_\_\_
4. Architect's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
Registration Number: \_\_\_\_\_
5. Landscape Architect: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
Registration Number: \_\_\_\_\_

6. Project Name: Mack Concrete Expansion

Physical Location/Address: 24046 CR 561, Astatula, FL 34705

7. The property is located in the vicinity of the following streets:

On CR 561 between Bates Land and Corkwood Lane

8. Area of property 367,646.4 Square Feet 8.44 Acres

9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:

See attached Property Record Card and Warranty Deed

10. The property is currently zoned: PUD

11. Briefly describe the proposed project: Construct 156,000 sq ft Production Facility

If for storage, what type of material will be stored? N/A

12. Have any development reviews and/or approvals been granted to this property?  
Yes      No X If yes, list the type, date and result:

13. Has any Variance been granted concerning this property? Yes      No X  
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

## **General Information**

- X   a. Name of project.
- X   b. Statement of intended use of site.
- X   c. Legal description of the property and size of parcel in acres or square feet.
- X   d. Name address and phone number of owner or owners of record.
- X   e. Name, address and phone number of owner's agent.
- X   f. Name, address, phone number, signature and registration of person(s) preparing the plan.
- X   g. Date, north arrow and scale number of sheets; the scale (not smaller than one inch to fifty feet (1"=50)) shall be designated and where appropriate, the same scale shall be used on all sheets.
- X   h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale of not less than one inch equals two thousand feet (1" 2,000').
- X   i. Linear dimensions of the site.
- X   j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- X   k. Finished grading elevations.
- X   l. All existing and proposed building restriction lines (i.e., highway setback lines, easement, covenants, rights-of-ways, and building setback lines).
- N/A  m. Commitments, such as contributions to off set public facilities impacts.
- X   n. Zoning on all adjacent land.
- N/A  o. All rights-of-way and curb cuts within 150 feet of the proposed site on both sides of the road.

### **Building and Structure**

- X   a. Intended use.
- X   b. Number of stories.
- X   c. Height of building(s).
- N/A  d. Number of dwelling units and density for multifamily site plans.
- N/A  e. Projected number of employees, if applicable.
- N/A  f. If restaurant, show number of seats and occupancy load.
- X   g. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- N/A  h. Photograph or sketch of proposed sign with dimensions and material type.
- N/A  i. Façade and elevation plans as follows: Exterior elevations with material designations, outline specifications of façade and roof treatments

### **Street, Sidewalks, Driveways, Parking Areas and Loading Spaces**

- X   a. Engineering plans and specifications for streets, sidewalks and driveways
- N/A  b. All parking spaces delineated.
- N/A  c. Number of parking spaces.
- N/A  d. Number and location of handicapped spaces.
- N/A  e. Number and designation of loading spaces
- N/A  f. Number of square feet of paved parking and driveway materials of driveways.
- N/A  g. Cross-section of proposed street improvements.
- N/A  h. Fire lanes
- N/A  i. Location of proposed driveway(s) and median cut(s).
- N/A  j. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow
- N/A  k. Location of traffic-control signs and signalization devices
- N/A  l. Designated location of sidewalks

- N/A m. Coordination of walkways, driveways, etc., with facilities in adjacent developments
- N/A n. All proposed street and alleys

### **Proposed Water, Sewer and Solid Waste Facilities**

- N/A a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- N/A b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- N/A c. Size and location of septic tank and drainfield, if applicable.
- N/A d. Grease separation system, if applicable: Size, location and materials.
- N/A e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

### **Landscaping**

- N/A a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- N/A b. Irrigation system plan.

### **Environmental Protection**

- N/A a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- N/A b. Conservation easements per the requirements.
- N/A c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

### **ADDITIONAL INFORMATION TO BE PROVIDED**

- N/A a. A certificate of concurrency or evidence of application for a certificate.

- N/A b. An application for a clearing and tree permit meeting all criteria specified in the Developmental Procedures and Regulations chapter and the Landscaping and Tree Protection chapter.
- N/A c. Drainage calculations as required in the Stormwater Management chapter.
- N/A d. Fire flow calculations, if applicable.
- N/A e. Lift station calculations, where required.
- N/A f. Copy of HRS permit, where required.
- N/A g. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- N/A h. Environmental assessment per the requirements, if applicable.
- N/A i. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.



\_\_\_\_\_  
Signature of Applicant

Date: 11/8/2024

PLEASE SUBMIT APPLICATION TO THE TOWN CLERK ACCOMPANIED BY TEN (10) COPIES OF THE SITE PLAN (SIGNED AND SEALED IF REQUIRED), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION OUTLINED IN THIS APPLICATION AND AS REQUIRED BY TOWN OF ASTATULA.

**OWNER'S AFFIDAVIT**

**STATE OF FLORIDA  
COUNTY OF LAKE**

Before me, the undersigned authority, personally appeared Ron Blanton,  
who being by me first duly sworn on oath, deposes and says:

- (1) That he/she is the fee-simple owner of the property legally described  
on page one of this application.
- (2) That he/she desires approval for:

Major Site Plan

- (3) That he/she has appointed Charles C Hiott to  
act as agent in his/her behalf to accomplish the above. The Owner is  
required to complete the APPLICANT'S AFFIDAVIT of this application  
if no agent is appointed to act in his/her stead.

  
Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 4<sup>th</sup> day of  
November, 2024, by Ronald Blanton, who is personally  
known to me or who has produced \_\_\_\_\_ as identification and  
who did (did not) take an oath.

  
Notary Public



**NOTE**

**All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.**

## APPLICANT'S AFFIDAVIT

### STATE OF FLORIDA COUNTY OF LAKE

Before me, the undersigned authority, personally appeared Charles C Hiott,  
who being by me first duly sworn on oath, deposes and says:

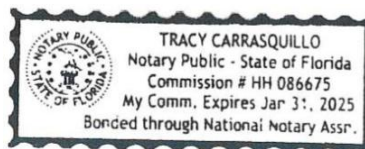
- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Astatula, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Astatula, Florida, and are not returnable.
- (2) That he desires approval for:  
Major Site Plan
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.

CCW  
Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 24th day of October, 2024, by Charles C Hiott; who is personally known to me or who has produced \_\_\_\_\_ as identification and who did (did not) take an oath.

Tracy Carrasquillo

Notary Public





VIA Hand Delivery

April 18, 2025

Jennifer Tucker  
Deputy Town Clerk  
Town of Astatula  
Planning and Zoning Department  
25009 CR 561  
Astatula, FL 34705

**RE: Mack Concrete Expansion  
Halff # 059233.001  
Request for Additional Information #2 - Major Site Plan**

Dear Ms. Tucker:

Please find our response to the RAI #2 dated April 14, 2025:

**Town of Astatula**  
**Dana S Johnson**

**COVER SHEET AND GENERAL**

1. Provide a list all outside agency permits and the current status – ERP, NPDES Industrial Permit, etc. Also provide a copy of all outside agency approvals/permits/SWPPP plans.

**\*\* PENDING.** The provided response and notes on the cover sheet need to be updated to reflect the actual permits required. The applicant has already applied for an individual ERP for the stormwater modifications and has already received comments from SJRWMD per the website permit research tool. Please provide the Town with a copy of all outside agency submittals, approvals and permits. Update the cover sheet to reflect the required SJRWMD permit.

**Response: See revised Cover. Once the drainge engineer responds to the district we will forward the submittal to the Town.**

2. Will this project increase the number of vehicle trips or truck traffic to the site, if so how will this be mitigated and/or will offsite improvements to the existing transportation network including turning lanes be warranted.

**\*\* PENDING.** RTC indicates no additional trucks will be entering or leaving the site as a result of this project. Please elaborate on why this is the case. Provide a traffic memo summarizing how this will not increase the traffic.

**Response: See attached Traffic Memo and Note #1 on Sheet C-2 stating no additional traffic.**

*SITE PLAN (Section 59-5-1)*

5. Provide cross sections on all sides of the new building showing how paving and drainage will be handled.

**\*\*PENDING.** Cross sections were not provided with the revised site plan. Cross Sections will be required with the full civil plan submittal and must be approved prior to issuance of a building permit.

**Response: See Sheet C-3**

7. Provide number of employees and break down of all existing and proposed buildings and their intended use with gross floor area of each.

**\*\* PENDING.** Parking calculations do not match the requirements of Section 59-7.5.2. It appears that industrial manufacturing is 1 space per 500 SF GFA, Warehouse is 1 space per 1,000 SF GFA, General office is 1 space per 200 SF GFA, and loading is 1 space per 10,000 SF GFA. Also provide the size of the loading space and delineate its location on the plan. Please update the parking calculations using the numbers outlined in the Astatula ordinance.

**Response: Parking criteria has been added to Sheet C-2 and parking variance is being requested from the Town Council. Loading space is shown on Sheet C-1 and loading variance is being requested.**

8. Provide a chart with required parking and provided parking and indicate on the plans where the employee and visitor parking is located, the handicap spaces and signage, any ramps or stairs on the ADA route to the front door of the main business office or areas that the general public have access to the site also indicate how parking spaces are delineated if not striped.

**\*\* PENDING.** Parking calculations did not summarize the provided or existing ADA spaces. List the existing provided ADA spaces. Provide a more detailed parking plan that shows the existing parking space locations and dimensions including the driving aisle dimensions. This can be done on an aerial image with dimensions to demonstrate the existing parking layout present. Reviewer understands that much of the parking is gravel, but more information will be required to demonstrate this projects compliance with the ordinance as it relates to the required ADA parking.

**Response: The existing office which is open to the public has 1 handicap space and ramp to the building. The existing visitor parking and handicap space is shown on revised Sheet C-1.**

9. Provide a pavement marking and signage plan (PMS). All signs and striping to be per the MUTCD latest edition.

**\*\* PENDING.** No proposed striping all parking on gravel and new spaces to be marked with landscape timbers per RTC. This does not meet Town code sections 59-7.5.7 & 7.5.8 pertaining to off street parking lots being required to be paved or if unimproved at least 40% paved.

Additionally, Per Section 59-7.5.7 all parking requirements will follow American Disabilities Act (ADA) requirements. There shall be provided, at the time of erection of any main building or structure, or at the time any main building is enlarged or increased in capacity by adding dwelling units, guest rooms or floor area, minimum off-street parking space with adequate provision for ingress and egress. Reviewer is of the opinion that due to this expansion of floor area the site ADA access should be audited and if improvements are required, they should be included in the full civil plans for the warehouse expansion project for Town approval prior to permit issuance.

**Response: We are not constructing outside the existing walls. The proposed parking will be 4" painted stripes and wheel stops. All the other parking and drive aisles are gravel or crushed concrete and does not have striping.**



#### UTILITY PLANS/WATER & SEWER (Section 59-7-6)

13. Provide plan and details for the individual water service to the new building

\*\* PENDING. For number 13 thru 15, the updated site plan did not include any water and sewer information for the new building. Please explain if there will be none or if it will be via private well and private septic. If on a well and septic, please delineate and label the well and septic drain field on the plans.

**Response: See Sheet C-2 for location of well**

14. Provide fire flow on the plans.

\*\* PENDING. For number 13 thru 15, the updated site plan did not include any water and sewer information for the new building. Please explain if there will be none or if it will be via private well and private septic. If on a well and septic, please delineate and label the well and septic drain field on the plans.

**Response: There are existing fire tanks on site for fire protection. See Sheet EX-1 for location of fire tanks.**

15. Provide plan and details on the individual sewer service to the new building.

\*\* PENDING. For number 13 thru 15, the updated site plan did not include any water and sewer information for the new building. Please explain if there will be none or if it will be via private well and private septic. If on a well and septic, please delineate and label the well and septic drain field on the plans.

**Response: See Sheet C-2 for location of septic tank**

#### STORMWATER /POLLUTION PREVENTION & GRADING (Section 59-7-2)

21. How will erosion control be handled for the proposed improvements for all phases clearing, grading and construction.

\*\* PENDING. RTC indicates no run-off can leave the site due to the concrete wall that surrounds the site. However, a SWPPP will be required which must also address dust control and access control to keep sediment off public roads. The SWPPP will be required with the full civil plan submittal and approved prior to issuance of a building permit

**Response: See Sheet C-1 for Erosion Control and Demolition Plan. The site contractor will obtain NPDES permit prior to construction**

#### STANDARD DETAILS AND NOTES

25. For erosion control use FDOT standard details

\*\* PENDING. RTC indicates not applicable, however these detail will be applicable since this site will be disturbing more than 1 acre and will need to control dust and access to the site to reduce erosion.

**Response: See Sheet C-1 for details and notes**



26. For sidewalk, curb ramps, and crosswalks use FDOT standard details

\*\* PENDING. RTC indicates not applicable to this site. No new sidewalk proposed, however, Reviewer believes that if the existing ADA space is not compliant then these details may become applicable.

**Response: The handicap space and ramp on site is existing and compliant. No additional details are required at this time.**

Should you have any questions, please feel free to contact our office at 352-343-8481.

Sincerely,

Halff

A handwritten signature in blue ink, appearing to read "CCH".

Charles C. Hiott, P.E.  
Director of Land Development, V.P.  
[chiott@halff.com](mailto:chiott@halff.com)

CCH/tc

Enclosures

CONSTRUCTION PLANS  
FOR  
MACK CONCRETE  
156,000 SF EXPANSION

CR 561  
ASTATULA, FL 34705  
APRIL 2025

ENGINEER

HALFF ASSOCIATES, INC.  
902 N. SINCLAIR AVE  
TAVARES, FL 32778  
CONTACT: CHARLES C. HIOTT  
EMAIL: CHIOTT@HALFF.COM  
TEL: (352) 343-8481

OWNER/CLIENT:

MACK CONCRETE INDUSTRIES, INC.  
23902 CR 561  
ASTATULA, FL 34705  
TEL. (352) 742-2333 FAX (000) 000-0000  
www.MACKCONCRETE.com

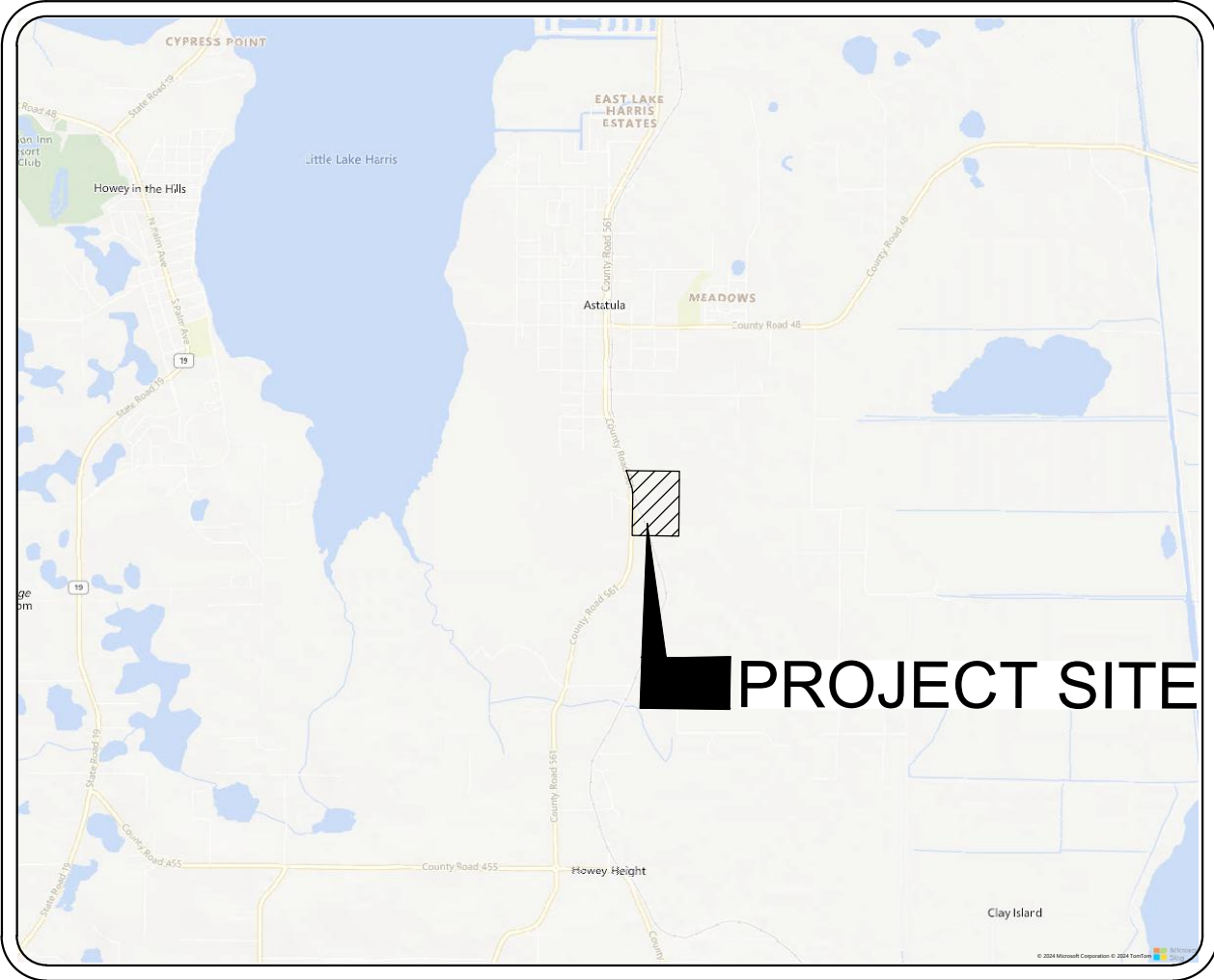
SURVEYOR

NIETO-WHITTAKER SURVEYING LLC  
1728 N. RONALD REGAN BLVD.,  
LONGWOOD, FL 32750  
CONTACT: Ralph A. Nieto P.S. M. No. 6025  
EMAIL:  
TEL: (407) 636-8460



PROJECT MAP

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

SHEET INDEX

|            |                                   |
|------------|-----------------------------------|
| G-1.....   | COVER                             |
| EX-1 ..... | EXISTING CONDITIONS               |
| EX-2 ..... | AERIAL                            |
| C-1 .....  | DEMOLITION / EROSION CONTROL PLAN |
| C-2 .....  | SITE PLAN                         |
| C-3 .....  | DETAILS                           |

SURVEYED DATE:

APRIL 25, 2018

LEGAL DESCRIPTION:

PARCEL I:

Lot 14 in Block L in the City of Astatula, Florida, according to the plat thereof, as recorded in Plat Book 1, page 12, Public Records of Lake County, Florida, lying Easterly of the Easterly right-of-way line of the Seaboard Coast Line R/R (now abandoned); AND ALSO: that part of an unnamed street and that part of Van Buren Street adjacent to the said Lot 14 described as follows: Begin at the intersection of the Easterly right-of-way line of the Seaboard Coast Line R/R (now abandoned) and the North line of said Lot 14; run thence Northwesterly along said Easterly right-of-way line to the center line of said unnamed street; thence East along the centerline of said unnamed street to its intersection with the centerline of Van Buren Street, thence South along the center line of Van Buren Street to the South line of (end of) Van Buren Street, thence West along said South line to the Southeast corner of said Lot 14; thence North along the East line of said Lot 14 to the Northeast corner of Lot 14; thence West along the North line of Lot 14 to the Point of Beginning; AND ALSO: that part of the vacated right-of-way of the Seaboard Coast Line R/R described as follows: Begin at the intersection of the North line of Lot 14, Block L, Astatula, as recorded in Plat Book 1, page 12, Public Records of Lake County, Florida and the Easterly line of said vacated railroad right-of-way, thence Northwesterly 100 feet along said Easterly line, thence West to the Easterly line of Hwy. 561, thence Southeasterly along said Easterly line of Hwy. 561, 100 feet to a point lying West of the Point of Beginning, thence East to the point of beginning in Section 32, Township 20 South, Range 26 East.

PARCEL II:

That part of Government Lots 2 and 3, Section 5, Township 21 South, Range 26 East, Lake County, Florida, described as follows: Begin at the intersection of the North boundary of Section 5, Township 21 South, Range 26 East, and the Easterly Right-of-way line of State Road 561; thence S 00°16'54" W a distance of 713.94 feet along said Easterly right-of-way line of State Road 561; thence N 89°59'34" E a distance of 432.35 feet; thence N 19°22'26" W a distance of 756.75 feet along the Westerly right-of-way line of Railroad; thence S 89°59'34" W a distance of 177.80 feet along said North boundary of Section 5, Township 21 South, Range 26 East, to the Point of Beginning;

AND

That part of Government Lot 2, Section 5, Township 21 South, Range 26 East, Lake County, Florida, described as follows: Begin at the intersection of the North boundary of said Government Lot 2 and the Easterly right-of-way line of the Railroad; thence N 89°59'34" E along the said North boundary of Government Lot 2, a distance of 430.55 feet; thence S 00°00'26" E, 713.93 feet; thence S 89°59'34" W 179.60 feet to the aforesaid Easterly right-of-way line of Railroad; thence N 19°22'26" W, along said Easterly right-of-way line 756.75 feet to the Point of Beginning.

PARCEL III

Abandoned RR R/W lying Easterly of the following described land: Begin on North line of SEC & East R/W of SR 561, run South along said Road R/W 713.94 feet North 89°59'34" E 432.35 feet to Westerly R/W of RR N 19°22'26" W to North line of SEC South 89°59'34" W to the Point of Beginning, all lying within Section 5, Township 21 South, Range 26 East, Lake County, Florida.

PARCEL IV

That part of Section 5, Township 21 South, Range 26 East, Lake County, Florida, described as follows: Begin at the Northeast corner of Government Lot 2, in said Section 5, run South 89°59'34" W along the North line thereof, 669.41 feet to a point that is 430.55 feet East of the intersection of the Easterly right-of-way line of the abandoned Seaboard Coastline Railroad with the said North line of Government Lot 2; thence departing said North line run S 00°00'26" E 713.93 feet; thence North 89°58'23" E 670.34 feet to the East line of said Government Lot 2; thence run N 00°05'18" W along said East line, 713.54 feet to the Point of Beginning.

AND

That part of Block L, according to the amp of Astatula, as recorded in Plat book 1, page 12, Public Records of Lake County, Florida, lying in Section 32, Township 20 South, Range 26 East, described as follows: Begin at the intersection of the center line of Van Buren Street as shown on said plat with the South line of the Southeast 1/4 of said Section 32; thence run North 00°02'53" East along said centerline 654.51 feet to the centerline of an unnamed street as shown on said plat; thence run N 89°59'11" W along said centerline, 553.36 feet to the intersection of said centerline with the Easterly right-of-way line of the abandoned Seaboard Coastline Railroad; thence run Northwesterly along said Easterly right-of-way line 65.03 feet; to a point that is 100.00 feet from the intersection of the said Easterly right-of-way line with the North line of Lot 14, of said Block L; thence departing Easterly right-of-way line, run West 53.26 feet to the Easterly right-of-way line of State Road 561; thence run N 19°10'23" W along said Easterly right-of-way of State Road 561 a distance of 407.56 feet; thence departing said right-of-way line run N 89°59'34" E parallel with the South line of the Southeast 1/4 of said Section 32 a distance of 1534.88 feet to a point on a line, said line having a bearing of N 00°05'18" W from the Northeast corner of Government Lot 2, Section 5, Township 21 South, Range 26 East; thence run S 00°05'18" E along said line 1101.27 feet to the said Northeast corner of Government Lot 2; thence run S 89°59'34" W along the South line of said Southeast 1/4 of Section 32 a distance 775.28 feet to the Point of Beginning.

PARCEL V:

The part of the South 1/2 of Lot 9, Block L, according to the plat of Astatula, recorded in Plat Book 1, page 12, Public Records of Lake County, Florida, lying West of the Westerly right-of-way line of State Road 561, together with that portion of Monroe Street (now closed) lying between the centerline of said Monroe Street and West line of the South 1/2 of said Lot 9.

ALSO, Lot 13, Block L, of said plat of Astatula, together with that portion of Jackson Street (now closed) lying West of the Westerly right-of-way line of State Road 561.

ALSO, all the part of Lot 14, Block L, of said plat of Astatula lying West of the Easterly right-of-way line of the abandoned Seaboard Coast Line Railroad, less the right-of-way of State Road 561, together with that portion of an unnamed avenue lying between Lots 10 and 14, Block L of said Plat of Astatula, said portion lying South of the centerline of said unnamed avenue and between the Easterly right-of-way of said abandoned railroad and the Easterly right-of-way of State Road 561.

Also a portion of lands described in Official Records Book 1117, Page 0531 of the Public Records of Lake County Florida, described as follows:  
A portion of Monroe Street bounded on the East by Lot 13, Block L, and bounded on the West by the center line of Monroe Street; Also a portion of an unnamed avenue bounded on the North by Lot 9, Block L, and the westerly extension of the southerly line of Lot 9, Block L, and bounded on the South by Lot 13, Block L, and the westerly extension of the northerly line of Lot 13, Block L, and bounded on the West by the center line of Monroe Street, less and except any portion lying fifty feet (50') west of the centerline of C-561; all according to the Map of Astatula, Plat Book 1, page 12, Public Records of Lake County, Florida.

LESS AND EXCEPT that portion conveyed as Right-of-Way in the Statutory Warranty Deed in favor of Lake County dated July 29, 1992, recorded September 2, 1992 in Official Record Book 1183, page 1228, of the Public Records of Lake County, Florida.

PERMITS REQUIRED

|                    |                                                     |
|--------------------|-----------------------------------------------------|
| TOWN OF ASTATULA   | SITE PLAN (HALFF)                                   |
| LAKE COUNTY        | NOT REQUIRED (NO ACCESS TO COUNTY ROAD)             |
| SJRWMD             | ERP MODIFICATION (BY OTHERS)                        |
| FWC                | NOT REQUIRED (AREA IS IMPERVIOUS)                   |
| NPDES              | CONTRACTOR WILL PULL PERMIT AT TIME OF CONSTRUCTION |
| FDEP               | WELL 64E-8                                          |
| LAKE COUNTY HEALTH | SEPTIC 64E-6                                        |

WAVERS REQUESTED

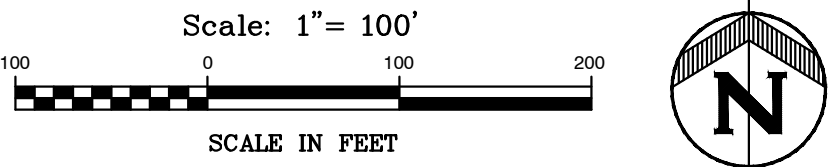
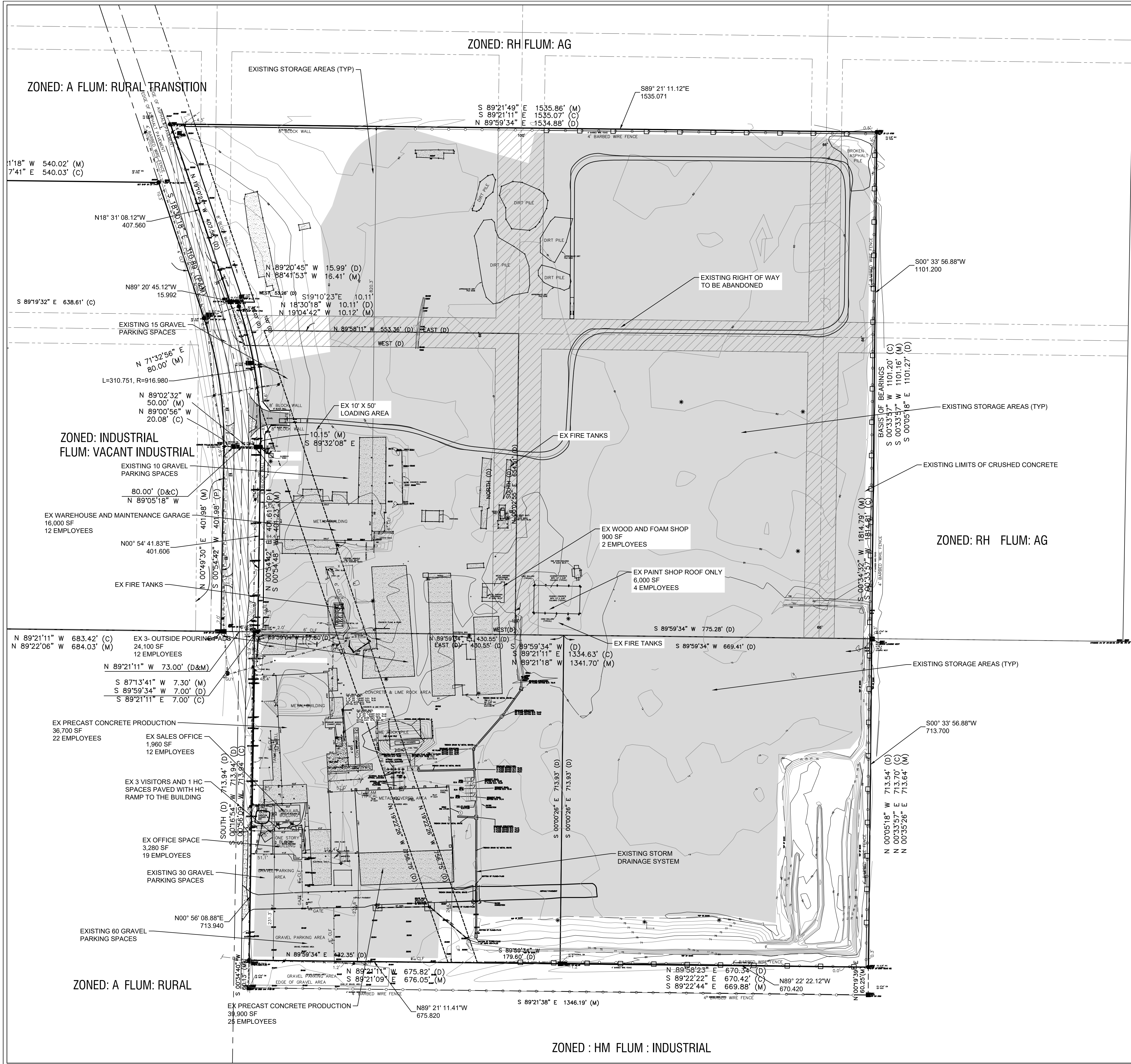
PER TOWN CODE 59-7.5.2 FOR MANUFACTURING PARKING IS 1 SPACE PER 500 SF. THIS WOULD REQUIRE 359 SPACES AND WE HAVE 149 SPACES

PER TOWN CODE 59-7.5.3 FOR MANUFACTURING LOADING SPACE IS 1 SPACE PER 10,000 SF. THIS WOULD REQUIRE 28 SPACES AND WE HAVE 1 10' X 50' SPACE INSIDE THE GATE.



Know what's below.  
Call before you dig.

THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE GEORGETOWN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 (DIG TESS) 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR- DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.



| LEGEND |                     |
|--------|---------------------|
|        | ROW TO BE REMOVED   |
|        | EXISTING IMPERVIOUS |

MACK CONCRETE  
156,000 SF EXPANSION  
ASTATULA, FL



| REVISION NO. | DATE     | DESCRIPTION  |
|--------------|----------|--------------|
| 1            | 11-25-24 | ASTATULA RAI |

## PRELIMINARY

FOR INTERIM REVIEW ONLY

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CHARLES C. HIOTT 54813  
NAME P.E. NO.  
DATE 4/18/2025  
TPELS ENGINEERING FIRM #F-312

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:  
CHARLES C. HIOTT  
P.E. # 54813 ON 3/15/25.  
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THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF:  
HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081  
TPELS ENGINEERING FIRM #F-312

PROJECT NO.: 59233.001  
ISSUED: XXXX  
DRAWN BY: RON  
CHECKED BY: CCH  
SCALE: 1"=100'  
SHEET TITLE:

EXISTING  
CONDITIONS

EX-1



MACK CONCRETE  
156,000 SF EXPANSION  
ASTATULA, FL



| REVISION NO. | DATE     | DESCRIPTION  |
|--------------|----------|--------------|
| 1            | 11-25-24 | ASTATULA RAI |
| 2            | 4-16-25  | ASTATULA RAI |
|              |          |              |
|              |          |              |
|              |          |              |
|              |          |              |

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PROJECT NO.: 59233.001  
ISSUED: XXXX  
DRAWN BY: RON  
CHECKED BY: CCH  
SCALE: 1"=100'  
SHEET TITLE:

AERIAL

EX-2 AERIAL

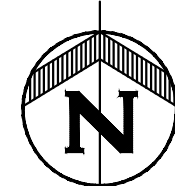
ZONED: RH FLUM: AG

ZONED: A FLUM: RURAL TRANSITION

EXISTING STORAGE AREAS (TYP)

S89° 21' 11.12"E  
1535.071

Scale: 1" = 100'  
100 0 100 200  
SCALE IN FEET



**SILT FENCE NOTES:**

1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
2. EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS.
3. CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
  - a) PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
  - b) PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.
4. THE CONTRACTOR SHALL APPLY WITH AND OBTAIN NPDES PERMIT FROM THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP).
5. SILT FENCE SHOWN IS STRICTLY SCHEMATIC, FOR ILLUSTRATION ONLY. ALL FENCE TO BE WITHIN THE PROPERTY LINE OF THE PROJECT SITE.

**EROSION CONTROL NOTES:**

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENTY IN LIEU OF PERMANENT MEASURES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE SHOWN IS STRICTLY SCHEMATIC, FOR ILLUSTRATION ONLY. ALL FENCE TO BE WITHIN THE PROPERTY LINE OF THE PROJECT SITE.

THE CONTRACTOR SHALL APPLY WITH AND OBTAIN NPDES PERMIT FROM THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP).

TEMPORARY CONSTRUCTION ENTRANCE AREA SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. THE GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS.

TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF MUD ONTO PUBLIC ROADS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, OR TRACKED FROM VEHICLES INTO ROADWAYS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS TRAILERED EQUIPMENT "CUTTING CORNERS" WHERE THE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROAD DAILY FOR SEDIMENTS.

CONTRACTOR SHALL PROVIDE AND PERFORM A 2 WEEK LOOK AHEAD INTO THE UTILITY WORK TO BE PERFORMED. THIS SHALL INCLUDE THE VERIFICATION OF EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICAL POSITIONING MATCHES. WHAT IS SHOWN IN THE CONTRACT DOCUMENTS AND ANY NEW UTILITIES THAT ARE DISCOVERED DURING THIS LOOK AHEAD. INFORMATION OF CONFLICTS OR DISCREPANCIES WITH THE CONTRACT DOCUMENTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD NO LESS THAN 1 WEEK PRIOR TO COMMENCEMENT OF WORK WITHIN SAID CONFLICT AREA. ENGINEER OF RECORD SHALL BE ALLOWED AMPLE TIME TO ADDRESS CONFLICTS/ISSUES AND PROVIDE ADJUSTMENTS TO THE DESIGN TO ADDRESS CONCERNS WITHOUT CONTRACTOR REQUESTING TIME DELAYS.

ZONED: RH  
FLUM: AG

ZONED: INDUSTRIAL  
FLUM: VACANT INDUSTRIAL

EX WAREHOUSE AND MAINTENANCE GARAGE  
16,000 SF  
12 EMPLOYEES

N00° 54' 41.83"E  
401.606

EX WOOD AND FOAM SHOP  
900 SF  
2 EMPLOYEES

EX PAINT SHOP ROOF ONLY  
6,000 SF  
4 EMPLOYEES

EX 3- OUTSIDE POURING PAD  
24,100 SF  
12 EMPLOYEES

EX PRECAST CONCRETE PRODUCTION  
36,700 SF  
22 EMPLOYEES

EX SALES OFFICE  
1,960 SF  
12 EMPLOYEES

EX 3 VISITORS AND 1 HC  
SPACES PAVED WITH HC  
RAMP TO THE BUILDING

EX OFFICE SPACE  
3,280 SF  
19 EMPLOYEES

EXISTING 30 GRAVEL  
PARKING SPACES

EXISTING 60 GRAVEL  
PARKING SPACES

ZONED: A FLUM: RURAL

EX PRECAST CONCRETE PRODUCTION  
39,900 SF  
25 EMPLOYEES

N89° 21' 11.41"W  
675.820

ZONED : HM FLUM : INDUSTRIAL

EXISTING STORAGE AREAS (TYP)

S00° 33' 56.88"W  
713.700

EXISTING STORM  
DRAINAGE SYSTEM

N89° 22' 22.12"W  
670.420

SILT FENCE TYP.

REMOVE PORTION OF CRUSHED CONCRETE  
TO CONSTRUCT SWALE AND BUILDING

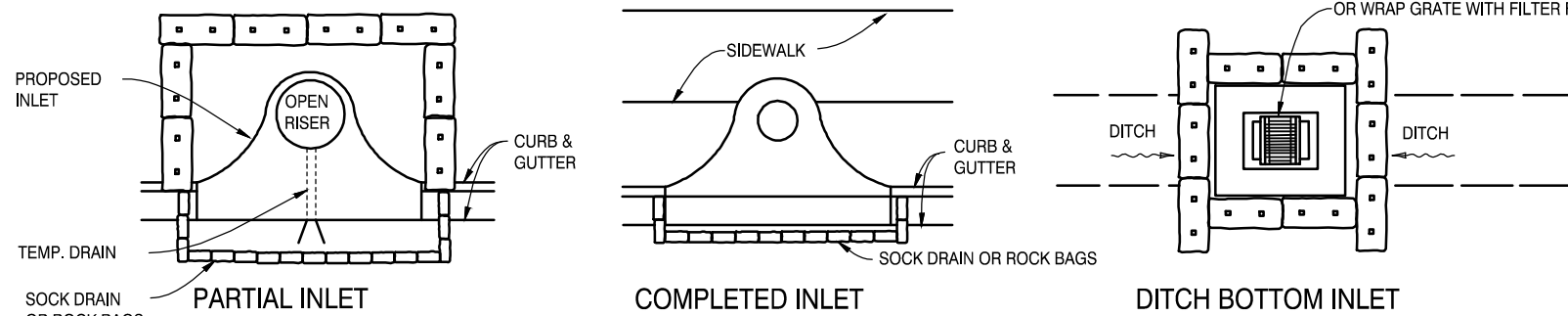
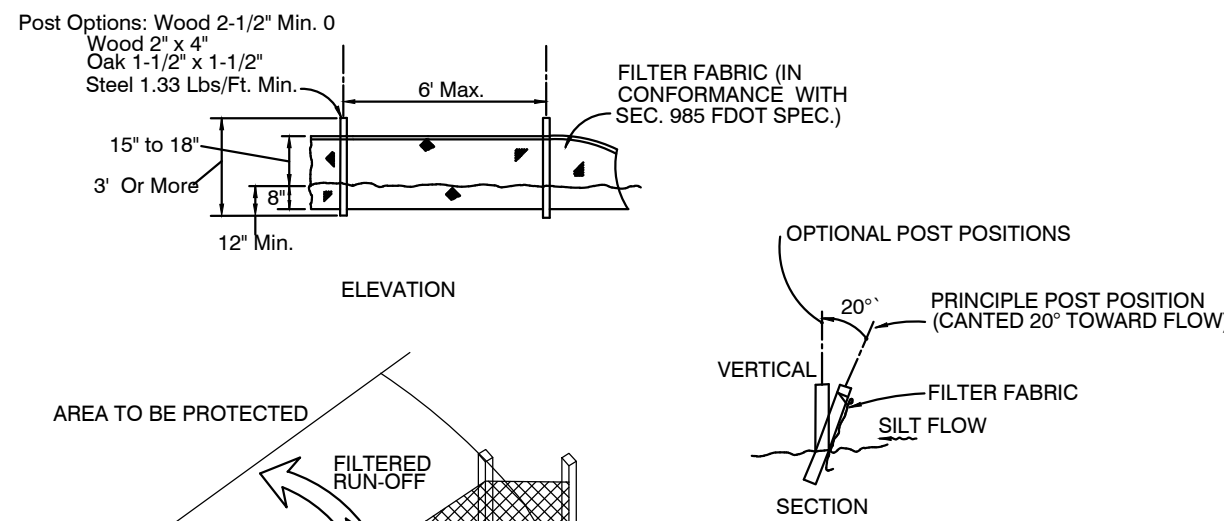
EXISTING STORAGE AREAS (TYP)

EXISTING DRAINAGE BASIN

REMOVE PORTION OF CRUSHED CONCRETE  
TO CONSTRUCT SWALE AND BUILDING

EXISTING FLOW PATH

EXISTING INTERNAL  
ACCESS ROADWAYS



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

**MACK CONCRETE**  
156,000 SF EXPANSION  
ASTATULA, FL



**half**  
201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081  
TEL (214) 348-6200

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NAME P.E. NO.  
DATE 4/16/25

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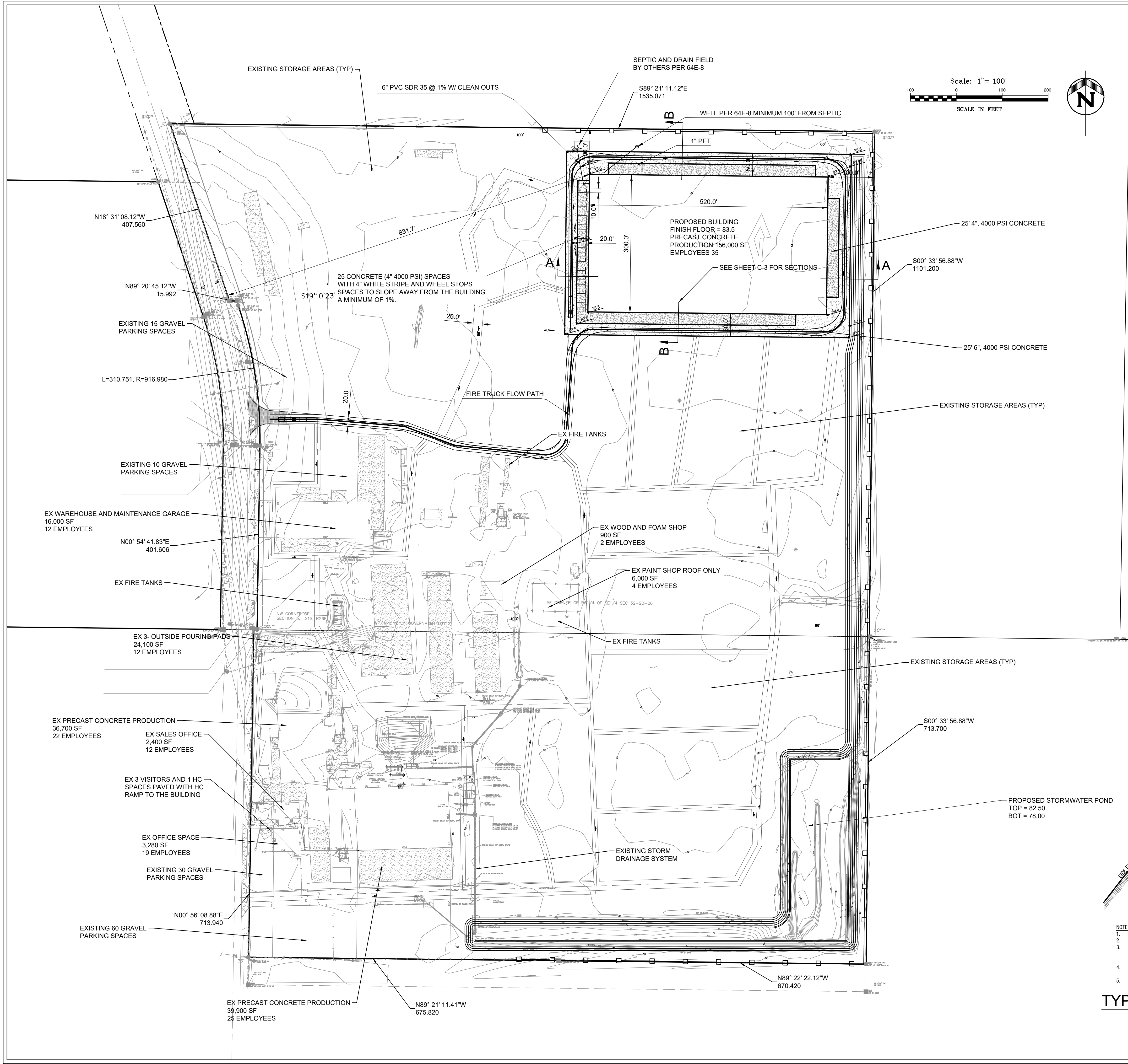
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1201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081  
TBPELS ENGINEERING FIRM #F-312

PROJECT NO.: 59233.001  
ISSUED: XXXX  
DRAWN BY: RON  
CHECKED BY: CCH  
SCALE: 1"=100'  
SHEET TITLE:

**EROSION CONTROL &  
DEMOLITION PLAN**



SITE DATA

ALTERNATE KEY NO.....1508371, 3619692, 1605555  
PARCEL I.D. NO.....052126000100000201  
ZONING.....HEAVY INDUSTRIAL (I-2)  
FUTURE LAND USE.....INDUSTRIAL  
TOTAL PROPERTY AREA.....57.57 AC  
TOTAL PROJECT AREA.....1.03 AC  
TOTAL PERVIOUS AREA.....1,450,284 SF (59.75%)  
EXISTING IMPERVIOUS AREA.....983,831 SF (40.25%)  
PROPOSED IMPERVIOUS AREA.....0 SF (BUILDING IS OVER IMPERVIOUS(40.25%))  
PROPOSED BUILDING HEIGHT.....55' (ONE STORY)  
PROPOSED BUILDING AREA.....520'x300' = 156,000 SF  
EXISTING FAR.....70,390 SF / 2,484,815 SF = 2.8%  
PROPOSED FAR.....226,390 SF / 2,484,815 SF = 9.1%  
EXISTING ISR.....2,104,434 SF / 2,484,815 SF = 85%  
PROPOSED ISR.....2,104,434 SF / 2,484,815 SF = 85%

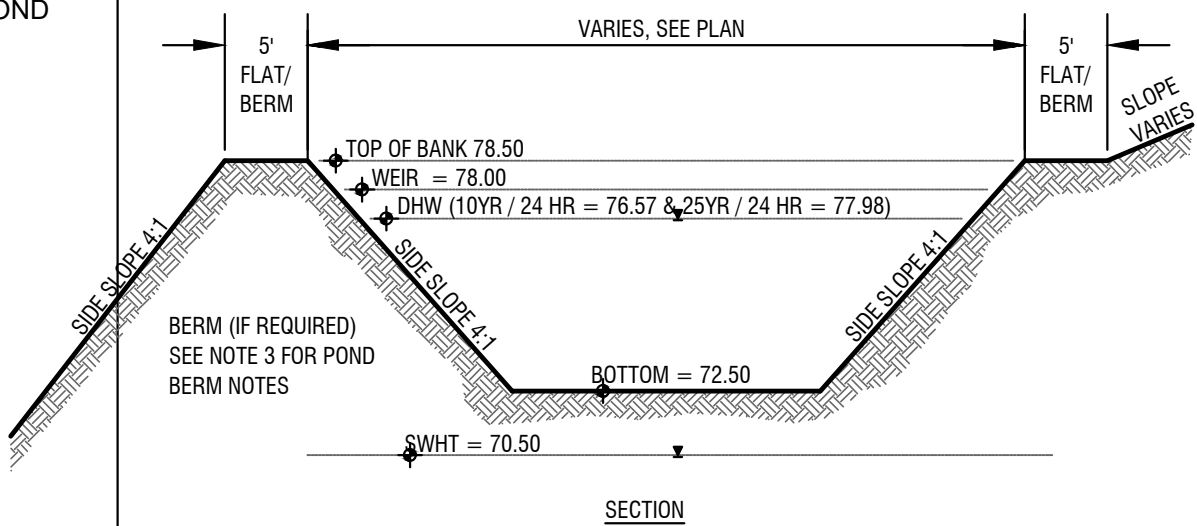
- NOTE:
1. LANDSCAPING NOT REQUIRED PER DISCUSSION WITH THE TOWN OF ASTATULA
  2. BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X WITH A SMALL PORTION IN ZONE A. THIS PROPERTY WAS FOUND ON MAP NUMBER 12069C0505E IN LAKE COUNTY, COMMUNITY NUMBER 120581, DATED 12/18/2012.
  3. ALL SIGNS AND STRIPING TO CONFORM TO THE LATEST EDITION OF MUTCD.

| LEGEND |                  |
|--------|------------------|
|        | 4\"/>            |
|        | FIRE ACCESS LANE |
|        | 6\"/>            |

|                                                    |                                     |
|----------------------------------------------------|-------------------------------------|
| PARKING REQUIRED:                                  |                                     |
| BASIC INDUSTRY                                     | 1 SPACE PER 500 SF OF MANUFACTURING |
| EXISTING AND PROPOSED BUILDING                     | = 279,600 SF                        |
| 279,600 / 500                                      | = 560 SPACES                        |
| OFFICE                                             | 1 SPACE PER 200 SF                  |
| 5,240 SF / 200 SF                                  | = 27 SPACES                         |
| TOTAL PARKING REQUIRED                             | = 587 SPACES                        |
| TOTAL PARKING PROVIDED                             | = 145 SPACES                        |
| * VARIANCE IS BEING REQUESTED TO ACCEPT 145 SPACES |                                     |

THE OFFICE SPACE OPEN TO THE PUBLIC IS 1,960 SF WHICH WOULD REQUIRE 1 HC SPACE. FUTURE HANDICAP SPACES WILL BE ADDED BY THE OWNER IF AND WHEN THE NEED ARISES FOR THE EMPLOYEE PORTION OF THE PARKING THAT IS BEHIND THE GATES.

- NOTES:
1. THE PROPOSED BUILDING WILL NOT INCREASE THE NUMBER OF EMPLOYEES OR THE TRUCKS ENTERING / EXITING THE SITE THEREFORE NO INCREASE IN TRAFFIC. THIS BUILDING IS PROPOSED TO CONTINUE THE MANUFACTURING INSIDE VERSUS OUTSIDE.



- NOTES:
1. SIDE SLOPES NOT TO EXCEED 4H:1V.
  2. SOD ALL SIDE SLOPES & TOP OF BERMS WITH SAND-GROWN SOD. SEED & MULCH POND BOTTOMS.
  3. FILL MATERIAL FOR BACKFILLING OVER-EXCAVATION OF POND BOTTOMS AND FOR BERMING OF PONDS TO BE CLEAN FINE SAND WITH LESS THAN 10% FINES (PASSING ASTM SIEVE NO. 200), AND HAVE MIN. IN PLACE VERTICAL PERMEABILITY RATE OF 20 FT/DAY OR GREATER. CARE SHOULD BE TAKEN TO NOT OVER-COMPACT FILL WITHIN THE POND BOTTOM.
  4. FILL MATERIAL TO BE TESTED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT TO VERIFY MEETING FILL MATERIAL SPECIFICATIONS.
  5. SEE SITE-SPECIFIC GEOTECHNICAL REPORT FOR ADDITIONAL EARTHWORK REQUIREMENTS.

TYPICAL DRY POND SECTION DETAILS  
NOT TO SCALE

MACK CONCRETE  
156,000 SF EXPANSION  
ASTATULA, FL



| REVISION NO. | DATE     | DESCRIPTION  |
|--------------|----------|--------------|
| 1            | 11-25-24 | ASTATULA DAI |

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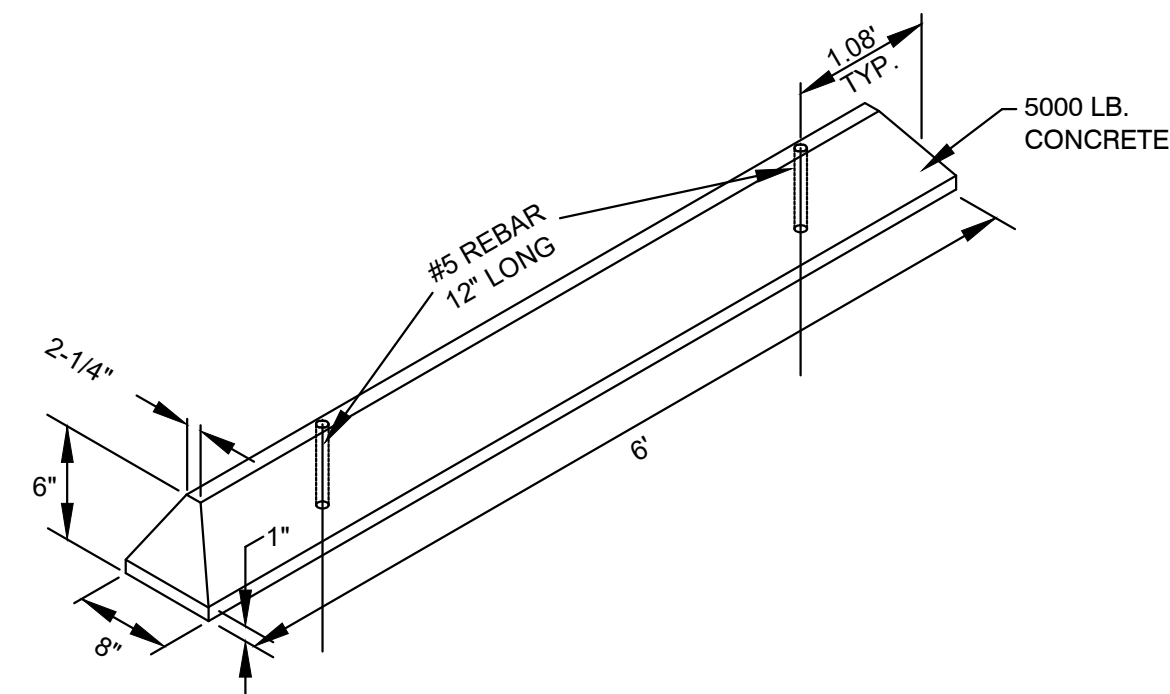
CHARLES C. HIOTT 54813  
NAME P.E. NO.  
DATE 4/18/2025  
TBP&L ENGINEERING FIRM #F-312

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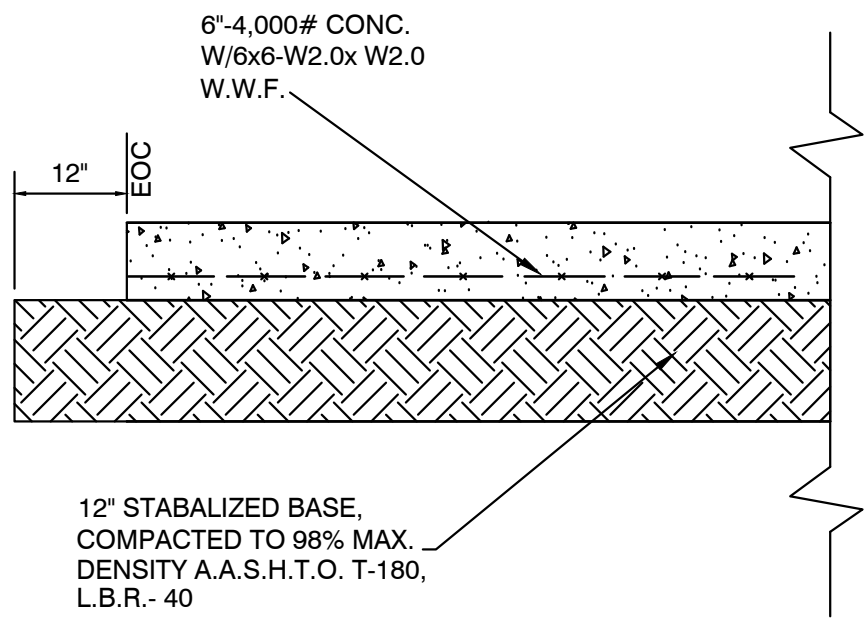
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PROJECT NO.: 59233.001  
ISSUED: XXXX  
DRAWN BY: RON  
CHECKED BY: CCH  
SCALE: 1"=100'  
SHEET TITLE:

SITE PLAN

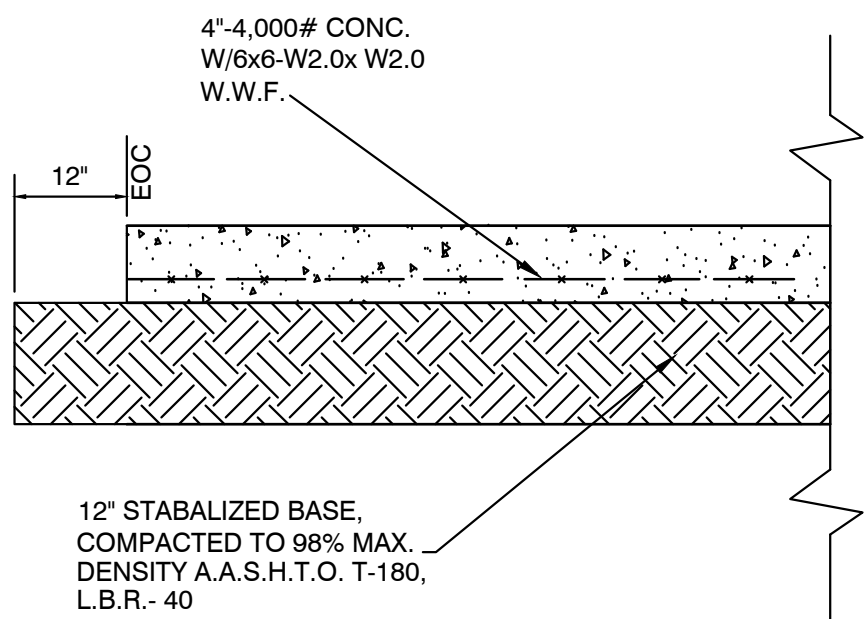


PRECAST CONC. WHEEL STOP



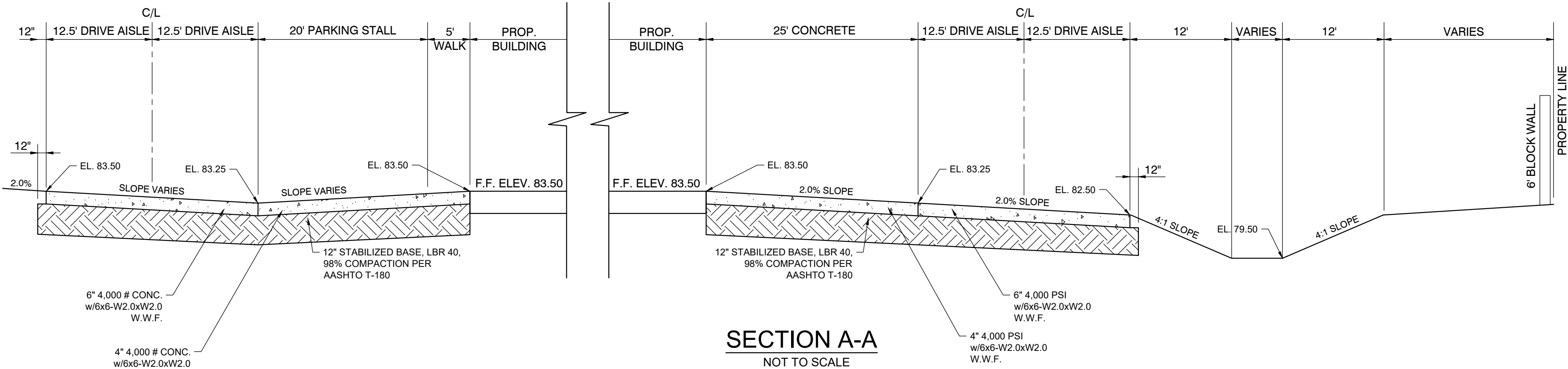
TYPICAL CONCRETE DRIVE AISLE PARKING SECTION

LONGITUDINAL CENTER JOINT @ 10' O.C., AND TRANSVERSE CONTRACTION JOINTS @ 20' O.C.  
1/2" EXPANSION JOINTS 60' O.C. OR EVERY 3RD. TRANSVERSE JOINT TO BE AN EXPANSION JOINT.



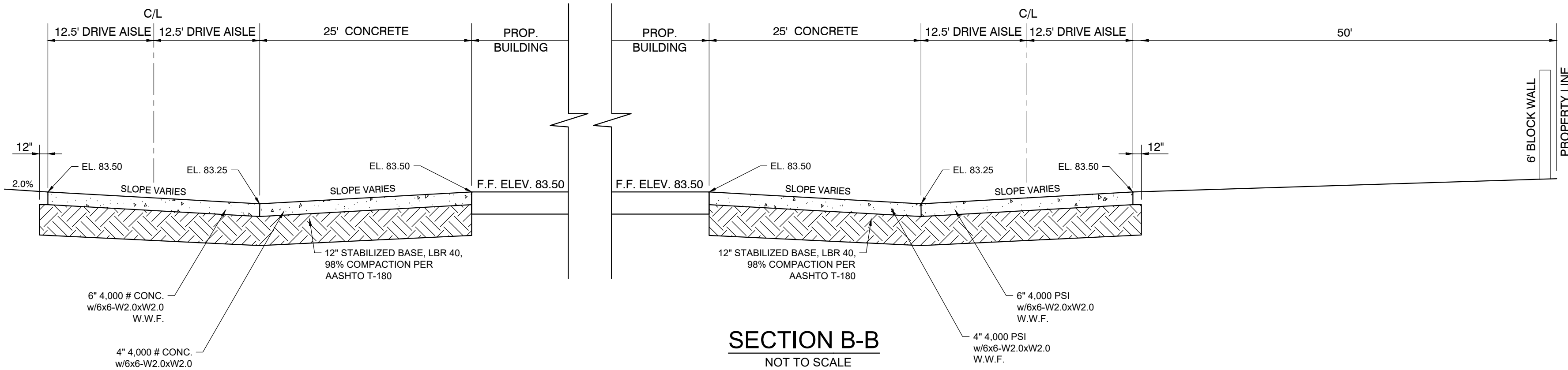
TYPICAL CONCRETE PARKING SECTION

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SECTION A-A

NOT TO SCALE



SECTION B-B

NOT TO SCALE

MACK CONCRETE  
156,000 SF EXPANSION  
ASTATULA, FL



201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081  
TEL (214) 346-6200

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| 1            | 11-25-24 | ASTATULA PAI |
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PROJECT NO.: 59233.001  
ISSUED: XXXX  
DRAWN BY: RON  
CHECKED BY: CCH  
SCALE: 1"=100'  
SHEET TITLE:

DETAILS



VIA Hand Delivery

April 18, 2025

Jennifer Tucker  
Deputy Town Clerk  
Town of Astatula  
Planning and Zoning Department  
25009 CR 561  
Astatula, FL 34705

RE: **Mack Concrete Expansion**  
**Halff # 059233.001**  
**Traffic Memo**

To Whom It May Concern,

The above referenced project will not increase the number of vehicle trips or truck traffic to or from this site. The existing and proposed conditions for traffic will remain and the current number of trips will remain. The expansion for Mack Concrete is moving their current outside production to inside production/under cover to eliminate the employees and materials from being affected by the elements. The local roadway network will remain to have adequate capacity since no new trips are anticipated so there will be no reduction in the level of service.

Should you have any additional questions or concerns regarding this information, please do not hesitate to contact our office.

Sincerely,

Halff

A handwritten signature in blue ink, appearing to read "CCH", is placed above the printed name of Charles C Hiott.

Charles C Hiott, P.E.  
Director of Land Development, VP  
[chiott@halff.com](mailto:chiott@halff.com)

CCH/tc  
Enclosures